

FLOORING	FIRST FLOOR :20mm STRUCTURAL SHEET. (UNSANDED)
FASCIA:	200x31 DAR
BARGE :	200x31 DAR
WINDOW & EXTERNAL DOORS :	POWDER COATED ALUMINUM SLIDING WINDOWS AND DOORS. NO ALLOWANCE FLY SCREENS.
BRICKWORK :	FACE BRICK SIMILAR TO EXISTING.
CLADDING :	50mm POLYSTYRENE CLADDING WITH TEXTURE COAT FINISH. LAID OVER FOIL SARKING.
ROOF PLUMBING:	100x50 COLORBOND DOWNPIPES 110mm COLORBOND QUAD GUTTERS.
SOFFIT LINING :	4.5mm FIBRECEMENT SHEET
ROOF COVERING :	NEW TERRA COTTA ROOF TILES FROM STANDARD TILE RANGE. LAY OVER FOIL SARKING. EXISTING TILES WILL BE RE-USED WHERE POSSIBLE.
INTERNAL LININGS:	INT. WALL - 10mm PLASTERBOARD CEILINGS - 10 mm PLASTERBOARD WET AREA - 6 mm VILLABOARD CORNICE - 90 mm COVE
INTERNAL FIXINGS:	JAMBS - EX 100 x REBATED SKIRTING - EX 75 x BULLNOSE ARCHITRAVE -EX 50 x 25 mm BULLNOSE
BUILT IN CUPBOARDS:	WHERE APPLICABLE BUILT IN &WALK IN WARDROBES TO HAVE ONE ONLY 16mm THICK MELAMINE SHELF WITH PIPE HANGING ROD UNDER. LINEN TO HAVE 5/16 mm THICK MELAMINE SHELVES.
DOORS:	PRIME COATED 4 PANEL HOLLOW CORE MOLDED FOR PAINT FINISH.
ELECTRICAL TO ADDITIONS	TWO WAY LIGHT SWITCH LIGHT POINTS DOUBLE GPO SMOKE DETECTORS IXL TASTIC 4 LIGHTS
HOT WATER SYSTEM	CONNECT TO EXISTING HOT WATER UNIT
METAL WORK:	INTERNAL BLACK, EXTERNAL :PRIMED

EXCAVATION:	EXCAVATION HAS BEEN ASSUMED TO BE IN SOIL, CLAY OR OTHER MATERIAL REASONABLY CAPABLE OF EXCAVATION WITH HAND TOOLS.
INSULATION:	CEILING TO FIRST FLOOR ADDITION : R3.0 INSULATION. EXTERNAL WALLS TO FIRST FLOOR : R1.5 INSULATION
PAINTING :	ALL INTERNAL PAINTING TO FIRST FLOOR ADDITION BY : OWNER. ALL EXTERNAL PAINTING TO FIRST FLOOR ADDITION BY :BUILDER ALL RENOVATION PAINTING BY OWNER UNLESS SPECIFICALLY NOTED OTHERWISE

STORM WATER DRAINS.

SUPPLY, INSTALL AND CONNECT NEW STORM WATER DRAINS FROM NEW DOWN PIPES TO EXISTING SERVICE AS NECESSARY.
NOTE: BUILDER ASSUMES AN EXISTING STORM WATER DRAIN SYSTEM CURRENTLY EXISTS ON SITE AND IS DISCHARGED TO A LEGAL POINT. BUILDER HAS MADE NO ALLOWANCE TO PROVIDE NEW **SWD** SYSTEM AND/OR LEGAL POINT OF DISCHARGE SHOULD NO SYSTEM EXIST.

ASBESTOS.
UNLESS OTHERWISE SPECIFIED IN THESE SPECIFICATIONS. NO ALLOWANCE HAS BEEN MADE FOR THE REMOVAL OR HANDLING OF ANY ASBESTOS PRODUCTS. SHOULD ANY ASBESTOS BE ENCOUNTERED ANY COSTS INVOLVED IN REMOVING OR HANDLING THESE PRODUCTS WILL BE THE CLIENTS RESPONSIBILITY.

METER BOX

NO ALLOWANCE HAS BEEN MADE TO UPGRADE METER BOX.

RELOCATION OF THE METER BOX
NO ALLOWANCE HAS BEEN MADE TO RELOCATE EXISTING METER BOX.

EXISTING TREES AND VEGETATION
NO ALLOWANCE HAS BEEN MADE TO CLEAR THE AREA OF THE PROPOSED ADDITION OF ANY TREES, SHRUBS OR OTHER VEGETATION


TOTAL SITE AREA	322.80 m2
EXISTING FLOOR AREA GROUND :	81.45 m2 - ADDITIONAL 18m2= 99.45m2
EXISTING FIRST FLOOR AREA:	46.60m2 - ADDITIONAL 28.5m2 = 75.1m2
FRONT PORCH AREA:	2.15m2
GARAGE AREA:	32.50m2-- ADDITIONAL GARAGE SPACE 21 m2 = 53.5m2
REAR PERGOLA AREA:	19.75m2
EXISTING GROSS FLOOR AREA:	128.05m2
PROPOSED GROSS FLOOR AREA:	174.05m2
ADDITIONAL GARAGE AREA :	21m2
<hr style="border-top: 1px dashed red;"/>	
TOTAL FSR: 0.55:1 (CONTROL)	(0.54 :1) PROPOSED
TOTAL SITE COVERAGE :	172m2 (53%)
TOTAL EXISTING LANDSCAPE:	134.10 (41%)
PROPOSED SITE COVERAGE 172m2	53 %
PROPOSED GROSS FLOOR AREA :	201.55m2 (CONTROL SEPP 235m2)
PROPOSED LANDSCAPE : 85.3m2	26%



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Project : PROPOSED ADDITIONS AND ALTERATIONS MR F. and T. ROMAGNOLO 360 PUNCHBOWL RD BELFIELD, NSW	
Drawing Title:	
SITE PLAN & SPECIFICATIONS	
Project Ref. No.:	Drawn By:
ASA 210114	SC
Scale:	Drawing No.:
1:200	A-1.00
Date: FEB , 2023	



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LOCATION PLAN

KEY:

STORM WATER LINE(existing) eSW
STORM WATER (new) SW
DOWN PIPE
RWDP RAIN WATER DOWNPIPE
GTD GRATED TRENCH DRAIN
SW STORMWATER
SWP STORM WATER PIT

STORM WATER GRATED PIT
OVER LAND FLOW

NOTES:

- 1. ALL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA, AS/NZS 3500.3, THE COUNCILS STORMWATER CODE/REQUIREMENTS AND THE DA APPROVAL.
- 2. ALL PIPEWORK TO BE SEWER GRADE DWV

NO TREE TO BE REMOVED.

MATERIAL FROM SITE TO BE TRACKED INTO THE ROAD BY VEHICLE ENTERING OR LEAVING THE SITE.
DUST , DIRT AND OTHER SEDIMENT TO BE CLEARED OFF ROAD AND CONTAINED ON SITE ON A DAILY BASIS.
NO MATERIALS ARE TO BE WASHED DOWN ANY STORM WATER PIT OR GULLY.

NO SOIL TO BE REMOVED FROM SITE.

TOTAL SITE AREA 322.80 m2

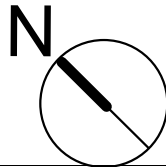
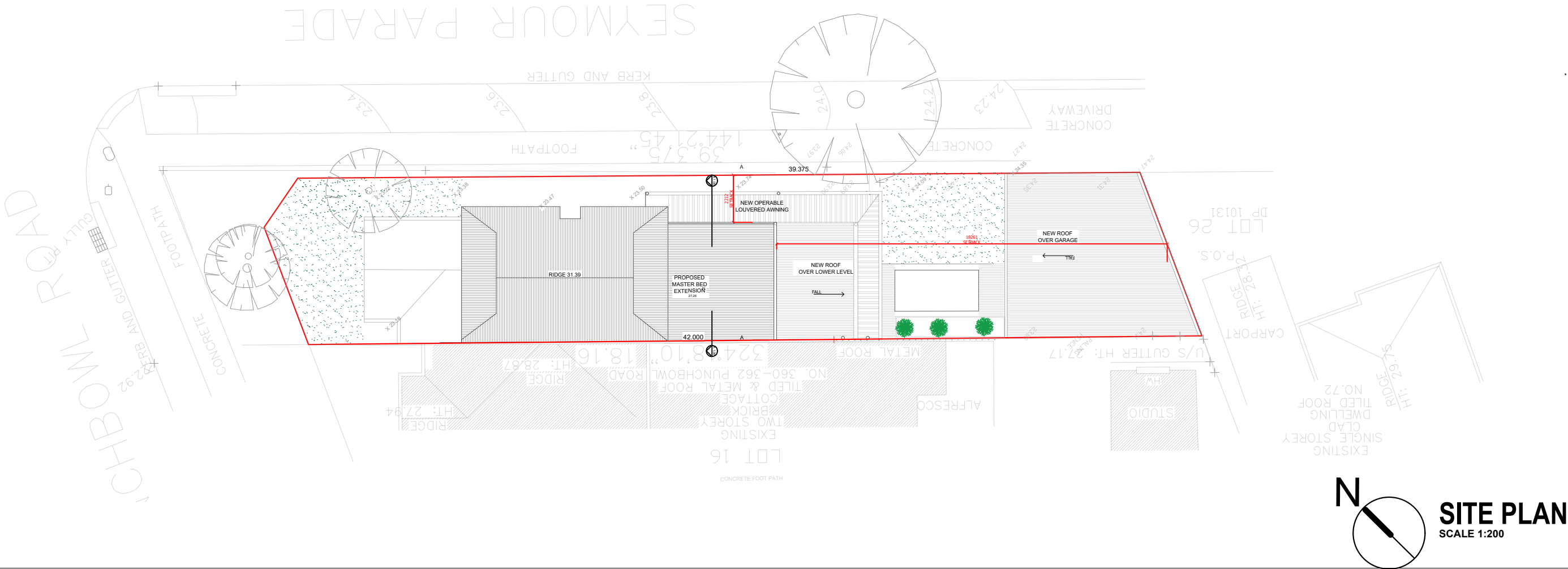
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EXISTING GROSS FLOOR AREA: 128.05m2
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TOTAL FSR: 0.55:1 (CONTROL) (0.54 :1) PROPOSED

TOTAL SITE COVERAGE : 172m2 (53%)
TOTAL EXISTING LANDSCAPE: 134.10 (41%)

PROPOSED SITE COVERAGE 172m2 53 %
PROPOSED GROSS FLOOR AREA : 201.55m2 (CONTROL SEPP 235m2)
PROPOSED LANDSCAPE : 85.3m2 26%



SITE PLAN
SCALE 1:200

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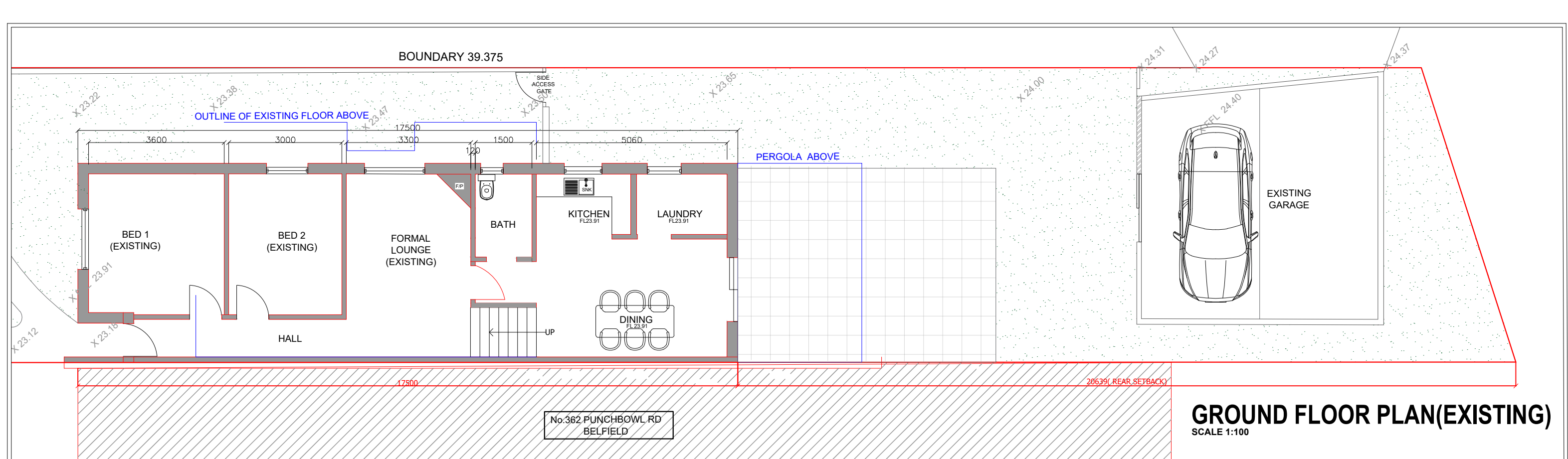
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Project :	
PROPOSED ADDITIONS AND ALTERATIONS MR F. and T. ROMAGNOLO 360 PUNCHBOWL RD BELFIELD, NSW	
Drawing Title:	
SITE PLAN & SPECIFICATIONS	
Project Ref. No.:	Drawn By:
ASA 210114	SC
Scale:	Drawing No.:
1:200	A-1.01
Date: FEB , 2023	

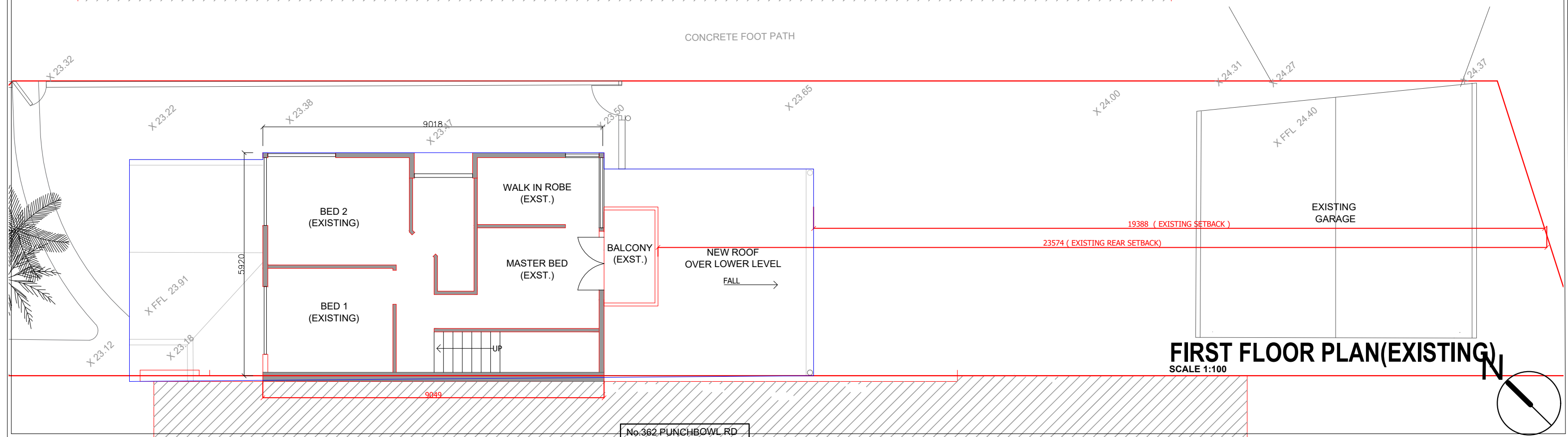


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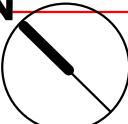
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GROUND FLOOR PLAN(EXISTING)
SCALE 1:100



FIRST FLOOR PLAN(EXISTING)
SCALE 1:100



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Project :	
PROPOSED ADDITIONS AND ALTERATIONS	
MR F. and T. ROMAGNOLO	
360 PUNCHBOWL RD	
BELFIELD, NSW	
Drawing Title:	
EXISTING FLOOR PLANS	
Project Ref. No.:	Drawn By:
ASA 230214	SC
Scale:	Drawing No.:
1:100	A-1.02
Date: FEB , 2023	



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EXISTING FLOOR AREA GROUND : 99.45m²
 EXISTING FIRST FLOOR AREA: 57.3m²
 FRONT PORCH AREA: 2.15m²
 GARAGE AREA: **32.50m² - ADDITIONAL GARAGE SPACE 21 m² = 53.5m²**
 REAR PERGOLA AREA:

GRAVEL AREA: 66.40m²
PAVING AREA: 14.80m²

EXISTING GROSS FLOOR AREA: 156.75m2

TOTAL SITE COVERAGE : 150.65m2 (47%)
TOTAL LANDSCAPE AREA: 172.15m2 (53%)

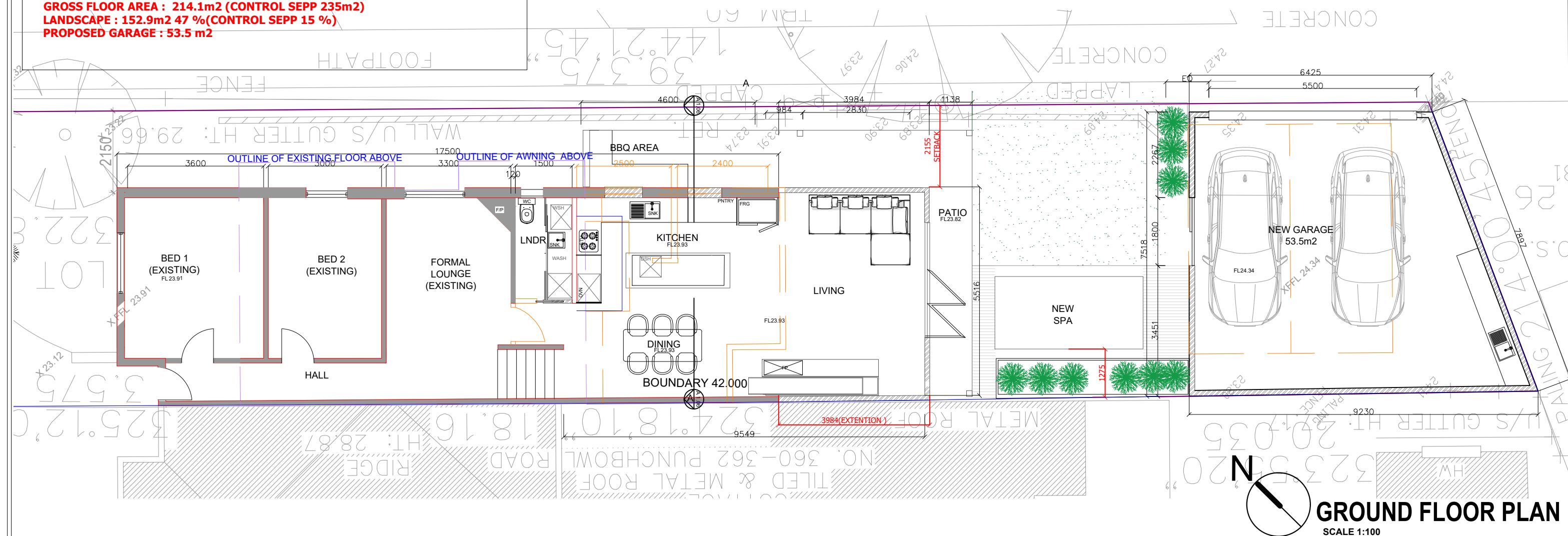
SITE COVERAGE 169.9m2 52 %
GROSS FLOOR AREA : 214.1m2 (CONTROL SEPP 235m2)
LANDSCAPE : 152.9m2 47 % (CONTROL SEPP 15 %)
PROPOSED GARAGE : 53.5 m2

DENOTES WALLS TO BE DEMOLISHED

DENOTES NEW WALLS

DENOTES EXISTING WALLS TO REMAIN

DENOTES NEW WORKS



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PROPOSED ADDITIONS AND
ALTERATIONS
MR F. and T. ROMAGNOLO
360 PUNCHBOWL RD
BELFIELD, NSW

GROUND FLOOR PLAN

Drawn By:	
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	Drawing No
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	A-1.03
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Date: FEB , 2023



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EXISTING HARD STAND AREA

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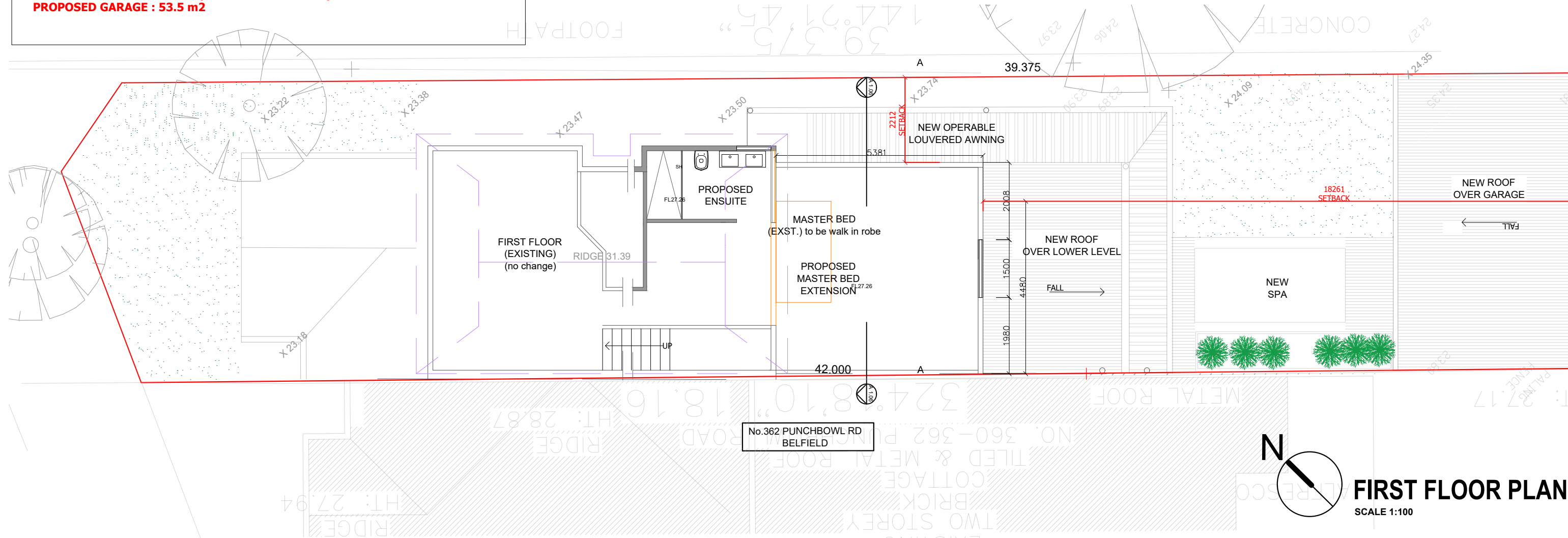
KEY :

DENOTES WALLS TO BE DEMOLISHED

DENOTES NEW WALLS

DENOTES EXISTING WALLS TO REMAIN

DENOTES NEW WORKS



FIRST FLOOR PLAN
SCALE 1:100

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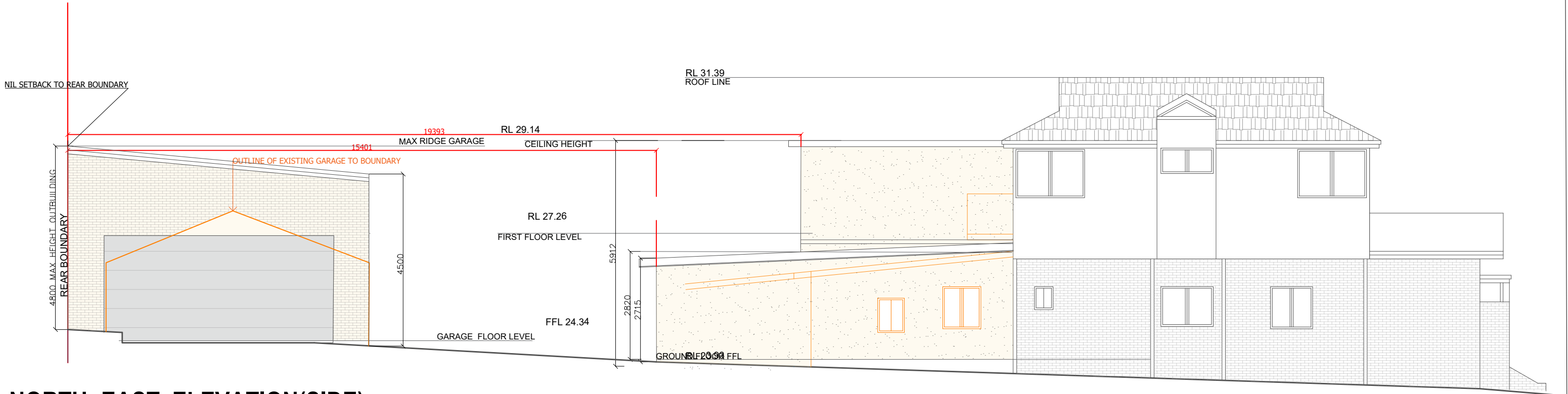
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Project :	
PROPOSED ADDITIONS AND ALTERATIONS - FIRST FLOOR MR F. and T. ROMAGNOLO 360 PUNCHBOWL RD BELFIELD, NSW	
Drawing Title:	
FIRST FLOOR PLAN	
Project Ref. No.:	Drawn By:
ASA 210114	SC
Scale:	Drawing No.:
1:100	A-1.04
Date: FEB , 2023	



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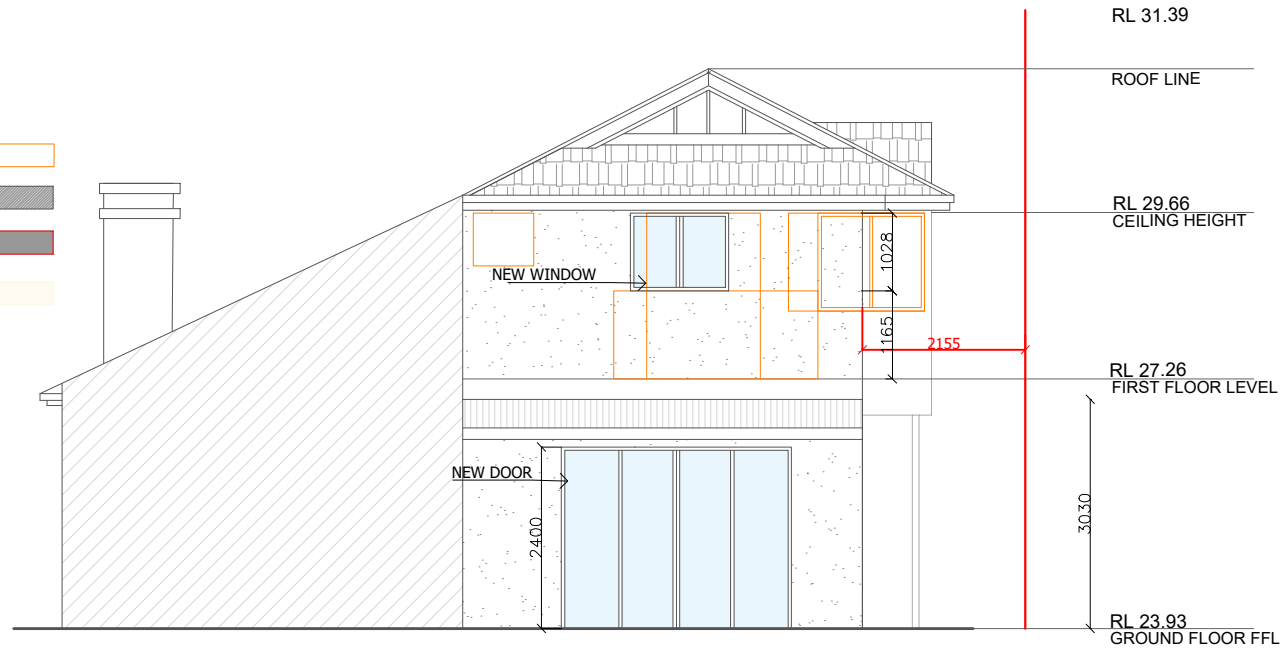
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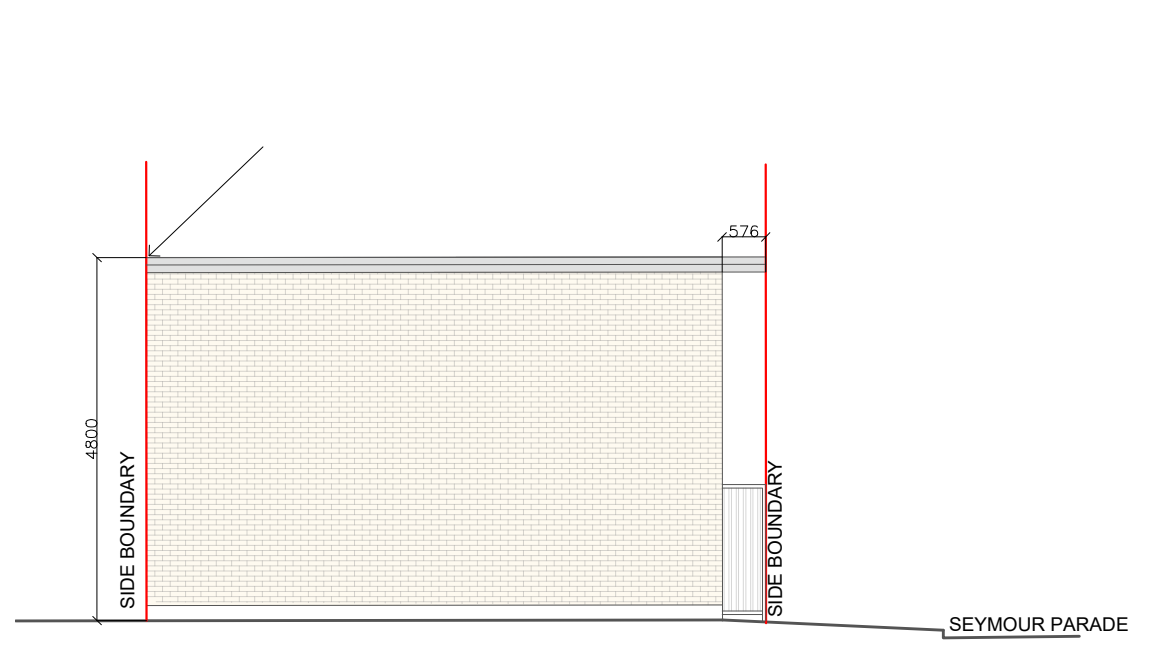
NORTH- EAST ELEVATION(SIDE)
SCALE 1:100

KEY :

- DENOTES WALLS TO BE DEMOLISHED
- DENOTES NEW WALLS
- DENOTES EXISTING WALLS TO REMAIN
- DENOTES NEW WORKS



SOUTH ELEVATION
SCALE 1:100



SOUTH ELEVATION(GARAGE)
SCALE 1:100

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Project :

PROPOSED ADDITIONS AND ALTERATIONS
MR F. and T. ROMAGNOLO
**360 PUNCHBOWL RD
BELFIELD, NSW**

Drawing Title:

ELEVATIONS 1

Project Ref. No.: **Drawn By:**
ASA 210114 **SC**

Scale: **Drawing No.:**
1:100 **A-1.05**

Date: **FEB , 2023**



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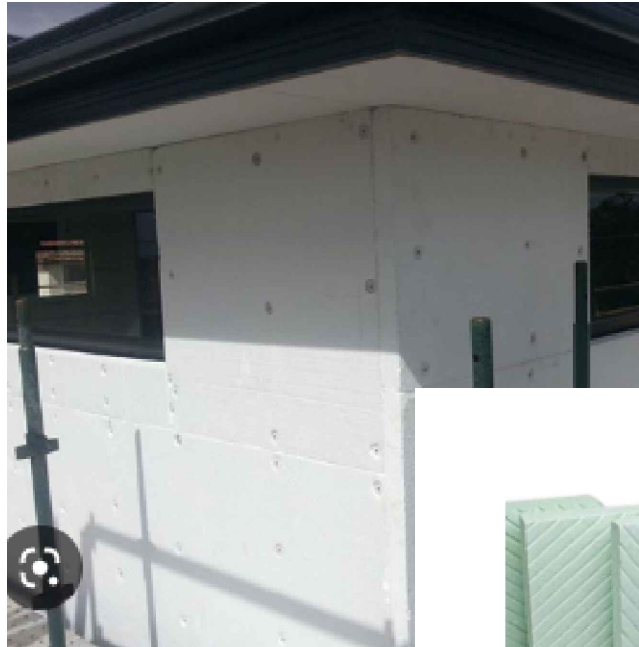
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FINISHES



Decking to spa area



NRG Greenboard 75mm
2480mm x 1200mm



White PVC fencing to match

WALLS:
Foam panels , arcylic render & paint



ROOF: Colorbond roof to garage & additions &Alts



Operable louvered awning

Issue/Revisions:		
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Project :

ADDITIONS AND ALTERATIONS

**360 PUNCHBOWL RD
BELFIELD, NSW**

Drawing Title:

STORY BOARD

Project Ref. No.:	Drawn By:
ASA 210114	SC
Scale:	Drawing No.:
-	A-1.07

Date: JAN , 2022



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asa.custodio@gmail.com

1.8 HIGH CHAIN WIRE MESH SUPPORTED BY ROBUST POSTS TO BE INSTALLED.

1.8 HIGH SAFETY FENCE WITH DUST PROOF FABRIC DUST CONTROL MEASURES SUCH AS WATERING DOWN TO BE USED DURING EARTHWORKS, DEMOLITION & CONSTRUCTION STAGE. EXISTING FENCE TO BE HEIGHTENED AND COVERED WITH DUST COVER.

1.8 HIGH SAFETY FENCE WITH DUST PROOF FABRIC
DUST CONTROL MEASURES SUCH AS WATERING DOWN TO BE
USED DURING EARTHWORKS, DEMOLITION & CONSTRUCTION
STAGE. EXISTING FENCE TO BE HEIGHTENED AND COVERED
WITH DUST COVER.

SANDBAG KERB INLET SEDIMENT TRAP TO BE IN PLACE

UNAUTHORISED ENTRY TO SITE PROHIBITED

A SIGN MUST BE DISPLAYED IN A PROMINENT POSTION ON SITE SHOWING DETAILS OF CERTIFYING AUTHORITY AND PRINCIPAL CONTRACTOR.

A SIGN MUST BE DISPLAYED STATING THAT UNAUTHORISED ENTRY TO SITE IS PROHIBITED.

ANY SUCH SIGNS TO BE MAINTAINED WHILE WORK IS CARRIED OUT AND MUST BE REMOVED WHEN WORK HAS BEEN COMPLETED.

During the asbestos removal a sign *DANGER ASBESTOS REMOVAL IN PROGRESS* measuring not less than 400mm x 300mm is to be erected in a visible position on the site.

During the asbestos removal a sign *DANGER ASBESTOS REMOVAL IN PROGRESS* measuring not less than 400mm x 300mm is to be erected in a visible position on the site.

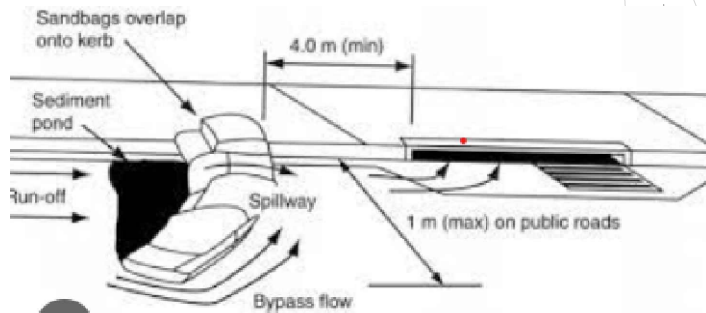
Sediment and erosion control measures to be in place prior to commencing work.

A durable sign, available from Council must be erected during the works in a prominent location on site, warning of penalties should appropriate measures required by the Soil & Water Management Plan not be maintained.

During excavation, demolition and Construction phases noise generated from the site must be controlled.

Occupational Health and Safety all site works must comply with the requirements of the New South Wales Work Cover Authority.

Site access is difficult
Large trucks & site machinery may need to drive in separately.
The use of traffic controllers may be required.



STORM WATER LINE(existing) eSW

STORM WATER (new) SW

DOWN PIPE

RWDP RAIN WATER DOWNPIPE

GTD GRATED TRENCH DRAIN

SW STORMWATER

SWP STORM WATER PIT

STORM WATER GRATED PIT

OVER LAND FLOW

1. ALL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA, AS/NZS 3500.3, THE COUNCILS STORMWATER CODE/REQUIREMENTS AND THE DA APPROVAL.
2. ALL PIPEWORK TO BE SEWER GRADE DWV

1. ALL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA, AS/NZS 3500.3, THE COUNCILS STORMWATER CODE/REQUIREMENTS AND THE DA APPROVAL.
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NO TREE TO BE REMOVED.

MATERIAL FROM SITE TO BE TRACKED INTO THE ROAD BY VEHICLE ENTERING OR LEAVING THE SITE.
DUST , DIRT AND OTHER SEDIMENT TO BE CLEARED OFF ROAD AND CONTAINED ON SITE ON A DAILY BASIS.
NO MATERIALS ARE TO BE WASHED DOWN ANY STORM WATER PIT OR GULLY.

NO SOIL TO BE REMOVED FROM SITE.

TOTAL SITE AREA **322.80 m2**

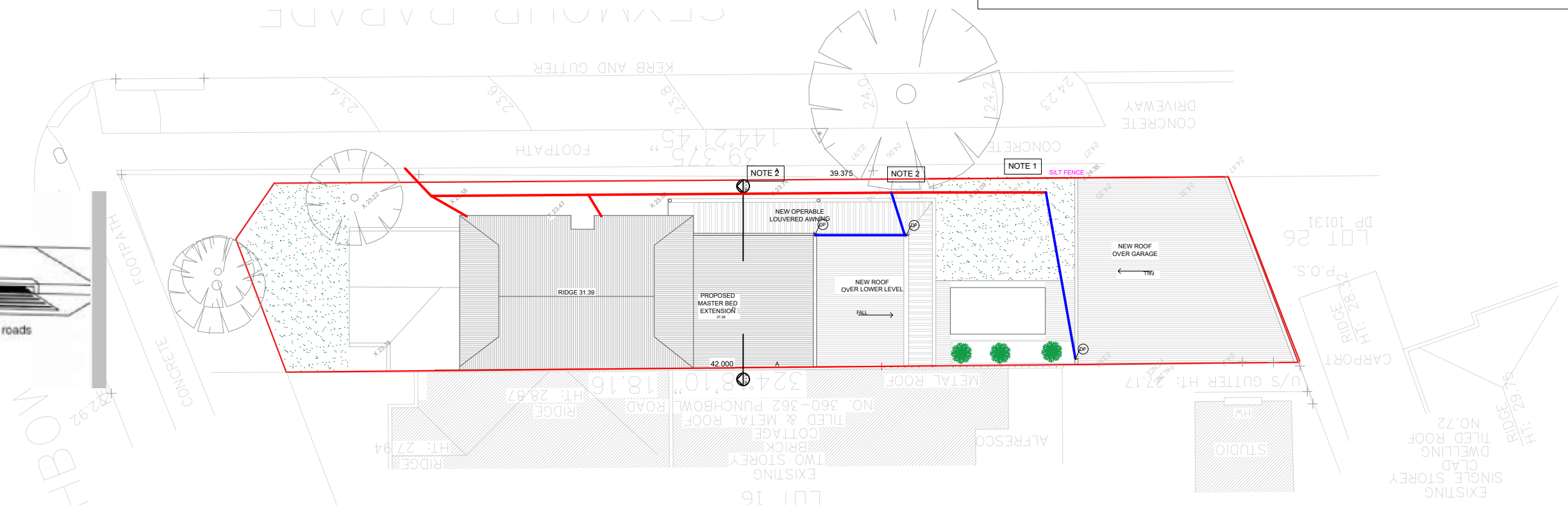
EXISTING FLOOR AREA GROUND : 81.45m² - **ADDITIONAL 18m²** = **99.45m²**
 EXISTING FIRST FLOOR AREA: 46.60m² - **ADDITIONAL 28.5m²** = **75.1m²**
 FRONT PORCH AREA: 2.15m²
 GARAGE AREA: 32.50m² - **ADDITIONAL GARAGE SPACE 21 m²** = **53.5m²**
 REAR PERGOLA AREA: 19.75m²

EXISTING GROSS FLOOR AREA:	128.05m2
PROPOSED GROSS FLOOR AREA:	174.05m2
ADDITIONAL GARAGE AREA :	21m2

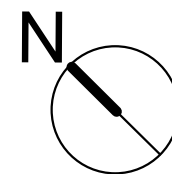
TOTAL FSR: 0.55:1 (CONTROL)	(0.54 :1) PROPOSED

TOTAL SITE COVERAGE : 172m2 (53%)
TOTAL EXISTING LANDSCAPE: 134.10 (41%)

PROPOSED SITE COVERAGE 172m2 53 %
PROPOSED GROSS FLOOR AREA : 201.55m2 (CONTROL SEPP 235m2)
PROPOSED LANDSCAPE : 85.3m2 26%



**DRAINAGE IS CONCEPT ONLY , NOT TO BUILD
CONNECT TO EXISTING**



SEDIMENT CONTROL & CONCEPT DRAINAGE

SCALE 1:200

No.:	Description:	Date:
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3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3-1990.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK. DIAL BEFORE YOU DIG (www.1100.com.au)
8. ALL DIMENSIONS TO BE VERIFIED BY BUILDER / REGISTERED SURVEYOR ON SITE PRIOR TO CONSTRUCTION COMMENCING
9. ALL DEMOLITION AND REMOVAL WORK TO BE CARRIED OUT WITH APPROVED WASTE MANAGEMENT PLAN AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS & D.A. CONDITIONS

PROPOSED ADDITIONS AND
ALTERATIONS
MR F. and T. ROMAGNOLO
360 PUNCHBOWL RD
BELFIELD, NSW

Drawing Title:

SOIL EROSION & CONCEPT DRAINAGE

Project Ref. No.:	Drawn By:
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ASA 210114	S
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Scale:	Drawing No.
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1:200	A-1.08
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0431 410 780
sofia custodio
BArch(hons), MArch (design)

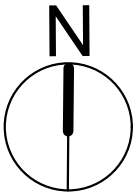
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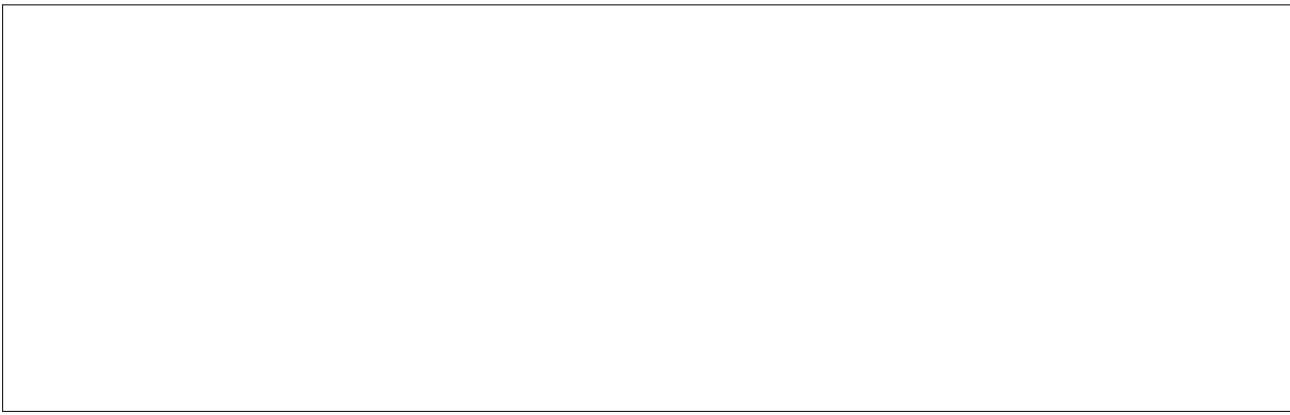
9am Winter
June 22 , 2023

3pm Winter
June 22 , 2023

12pm Winter
June 22 , 2023



Issue/Revisions:		
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GENERAL NOTES:	
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Project :	
PROPOSED ADDITIONS AND ALTERATIONS MR F. and T. ROMAGNOLO 360 PUNCHBOWL RD BELFIELD, NSW	
Drawing Title:	
SHADOW DIAGRAM - WINTER SOLSTICE	
Project Ref. No.:	Drawn By:
ASA 2101114	SC
Scale:	Drawing No.:
1:100	A-1.09
Date: FEB , 2023	



0431 410 780
sofia custodio
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